

Client

INVESTMENTOR

Proposed Dual-Occupancy

Lot 13 Crestview Avenue, Old Bar.

C01 - Stormwater Layout

C02 - Detention Details

H01 - Sewer Layout

H02 - Water Supply Layout

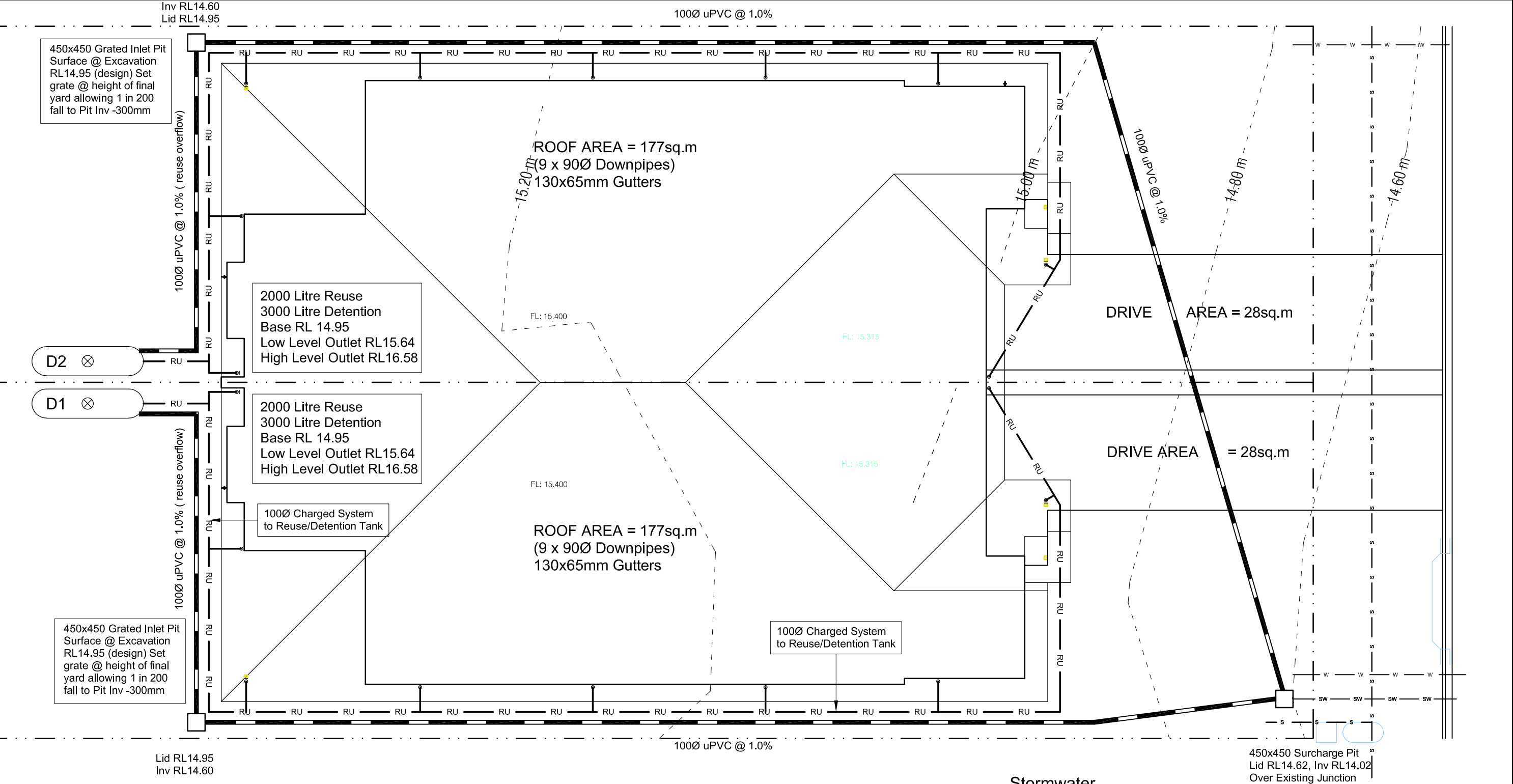


DAVID R. JOHNSON
Consulting Engineer Pty Ltd.

A.B.N. 87 102 381 251

Telephone 0265 811 190
Mobile 0488 000 038
Email drj.eng@bigpond.com

6/34 Acacia Av
P.O. Box 510
Port Macquarie
NSW 2444



Layout Plan

Scale 1:100 @ A3

- NOTE :
- Roof Drainage has been Designed to cater for 1 in 100 Storm Events & transfer it via a charged system to the Reuse/Detentions Tanks.
 - Detention has been sized to cater for all Impervious areas.
 - Roof Area < 500sq.m, No Bio-retention needed (11.water sensitive design)

Stormwater Certification

I, David Johnson being a practicing Civil engineer experienced in hydrology and hydraulic certify that the stormwater disposal system shown on 2025-63 Sheets C01 & C02 has been designed in accordance with the requirements of Auspec Design Specification D5, D7 & Australian Rainfall & Runoff Book 8, Sec 1, and complying with AS3500.3:2021

-All Construction is to be carried out in accordance with the requirements of Auspec Construction Specifications
C220 - Stormwater Drainage
C221 - Pipe Drainage
C223 - Drainage Structures
AS2032 - UPVC Pipe Bedding & Cover
AS3500.3 - Stormwater Drainage

David Johnson
David Johnson

Amdt	Date	NOTES
A	13/10/25	CONSTRUCTION CERTIFICATE

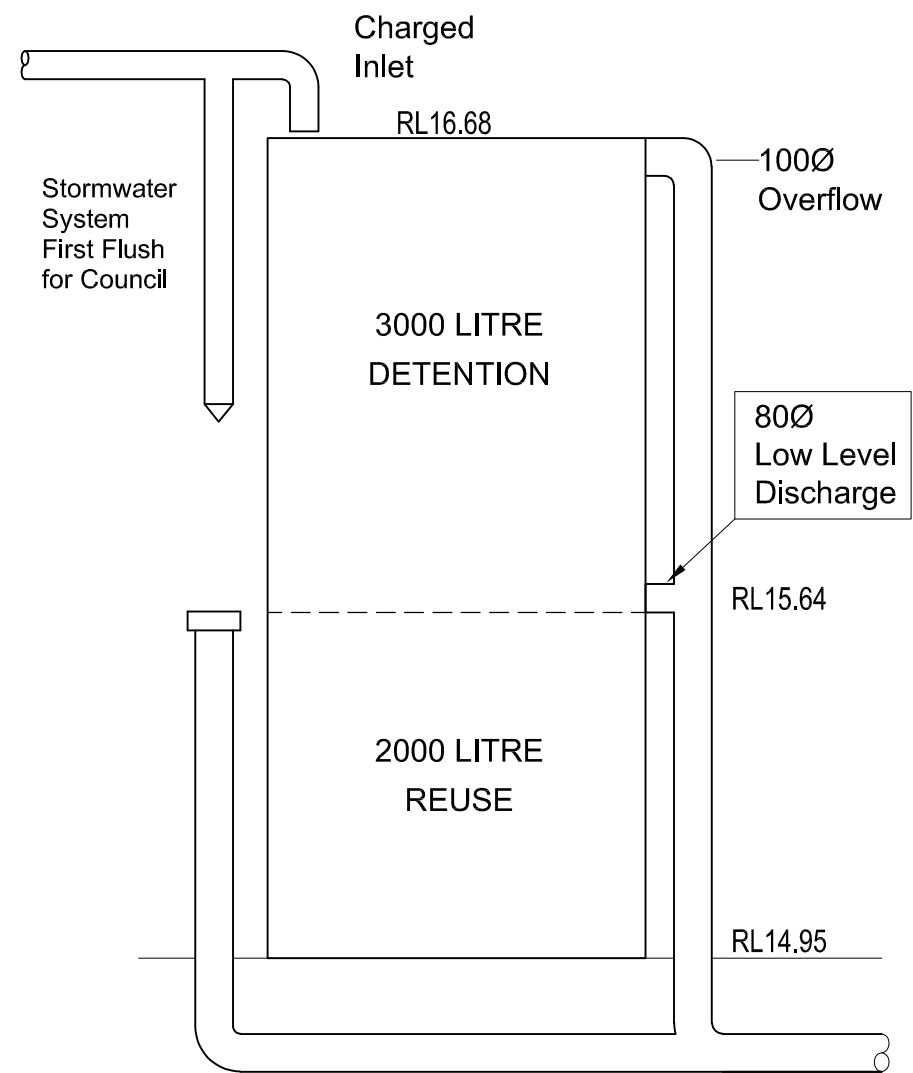
client	INVESTMENTOR	
project	Proposed Dual-Occupancy Lot 13 CrestView Avenue, Old Bar.	
drawn	date	
D.R.J	Nov 2025	<i>David Johnson</i>

title	STORMWATER		
sheet	S01	drawing no.	2025-63
amdt.	A		



DAVID R. JOHNSON
Consulting Engineer Pty Ltd
A.B.N. 87 102 381 251
Telephone 0265 811 190
FAX 0265 815 757
Mobile 0488000038
Email: drj.eng@bigpond.com

6/34 Acacia Avenue
P.O. Box 510
Port Macquarie
NSW 2444



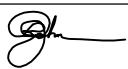
UNIT 1 & 2
Detention Layout
Scale 1:20

5 Year ARI Storm Durations						
EXISTING	PROPOSED					
0%	54% Impervious Site					
Q I/s	Catchment Q I/s	Orifice Q I/s	Overflow Q I/s	Landscape	Total Q I/s	Water Level
17	21	9	-	8	17	16.25

100 Year ARI Storm Durations						
EXISTING	PROPOSED					
0%	54% Impervious Site					
Q I/s	Catchment Q I/s	Orifice Q I/s	Overflow Q I/s	Landscape	Total Q I/s	Water Level
23	28	11	-	11	22	16.50

UNIT	1		2	
SITE	378sq.m		378sq.m	
LAND USE	EXIST	PROP	EXIST	PROP
Roof/Pavement	-	205	-	205
Landscape	378	173	378	173
Impervious	0%	54%	0%	54%

Amdt	Date	NOTES
A	13/10/25	CONSTRUCTION CERTIFICATE

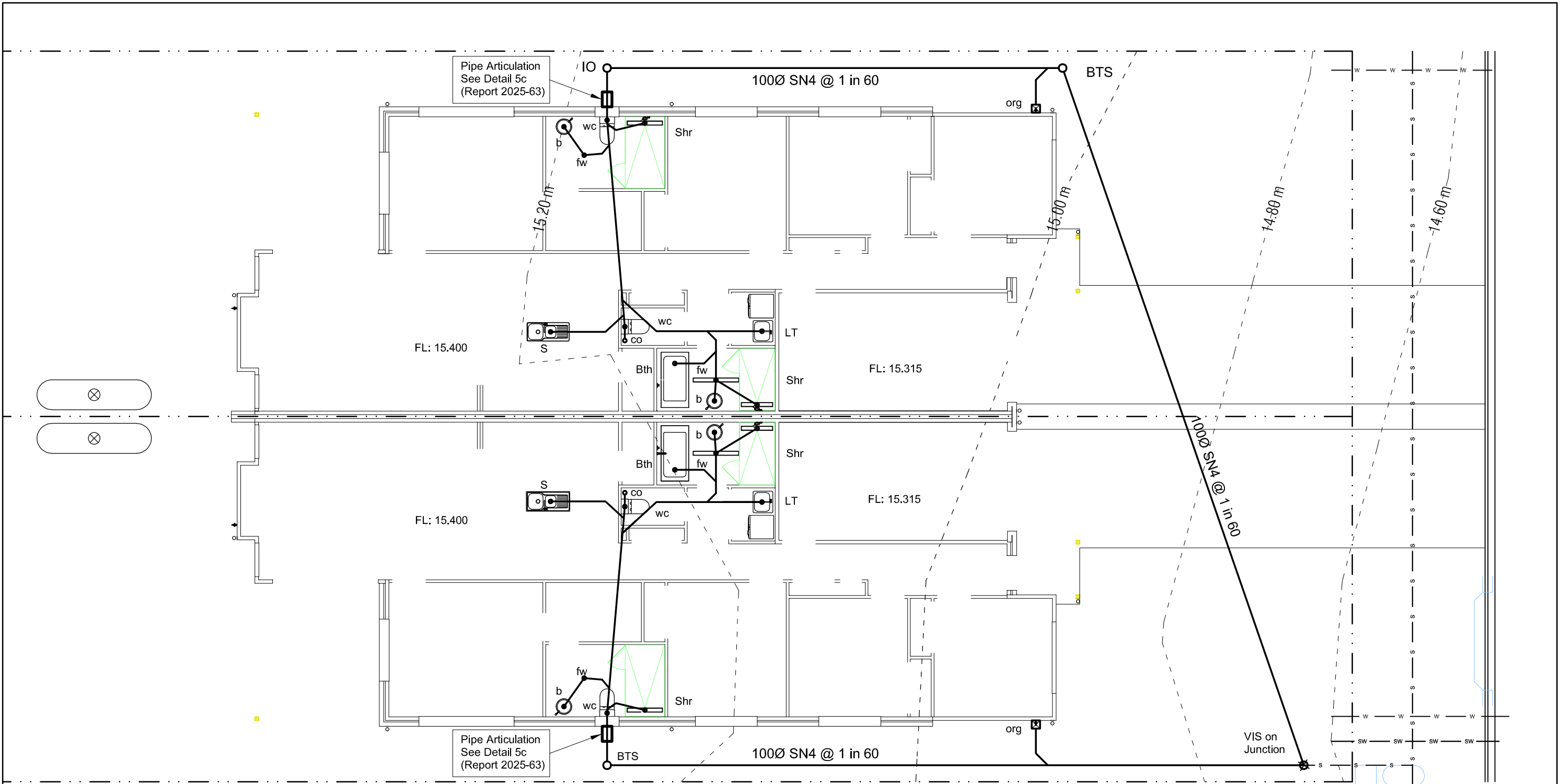
client INVESTMENTOR		
project Proposed Dual-Occupancy Lot 13 Crestview Avenue, Old Bar.		
drawn D.R.J	date Nov 2025	

title Detention Details		
sheet C02	drawing no. 2025-63	amdt. A



DAVID R. JOHNSON
Consulting Engineer Pty Ltd
A.B.N. 87 102 381 251
Telephone 0265 811 190
FAX 0265 815 757
Mobile 0488000038
Email: drj.eng@bigpond.com

6/34 Acacia Avenue
P.O. Box 510
Port Macquarie
NSW 2444



Sewer Layout Plan

Scale 1:100 @ A3

NOTE : ALL PIPES PENETRATING THE SLABS BASE ARE TO BE INSTALLED IN ACCORDANCE WITH DETAIL 5d REFER PIPEWORK ARTICULATION REPORT (2025-63)

Sewer Specification Notes :-

All design of the Sewerage System has been in accordance with the requirements setout in Water Services Association of Australia Gravity Sewerage Code of Australia & Mid Coast Council Aus-Spec 2022 (WSAA Supp) 0076 Sewerage Systems - Reticulation (Design) & AS3500.2:2021 Sanitary Plumbing & Drainage

All Construction is to be carried out in accordance with the requirements of Water Services Association of Australia Gravity Sewerage Code of Australia Mid Coast Council Aus-Spec 2022 (WSAA Supp) 0076 Sewerage Systems - Reticulation (Design) AS3500.2:2021 Sanitary Plumbing & Drainage All Levels are to A.H.D.

All pipes to be UPVC to AS1260 Class SH, and Rubber Ring Jointed U.N.O Connection to the Existing Sewer Main to be carried out under Asset Authorities Supervision. Junction Levels given ensure 100% of the Lot can be drained at 1 in 60 to the proposed sewerage system.

Care is to be taken when determining Floor Levels to comply with NSW Plumbers Code of Practice.

Existing Junction
Surface RL14.65
Inv RL14.05 (min)

Amdt	Date	NOTES
A	13/10/25	CONSTRUCTION CERTIFICATE

client	INVESTMENTOR	
project	Proposed Dual-Occupancy Lot 13 CrestView Avenue, Old Bar.	
drawn	date	
D.R.J	Nov 2025	

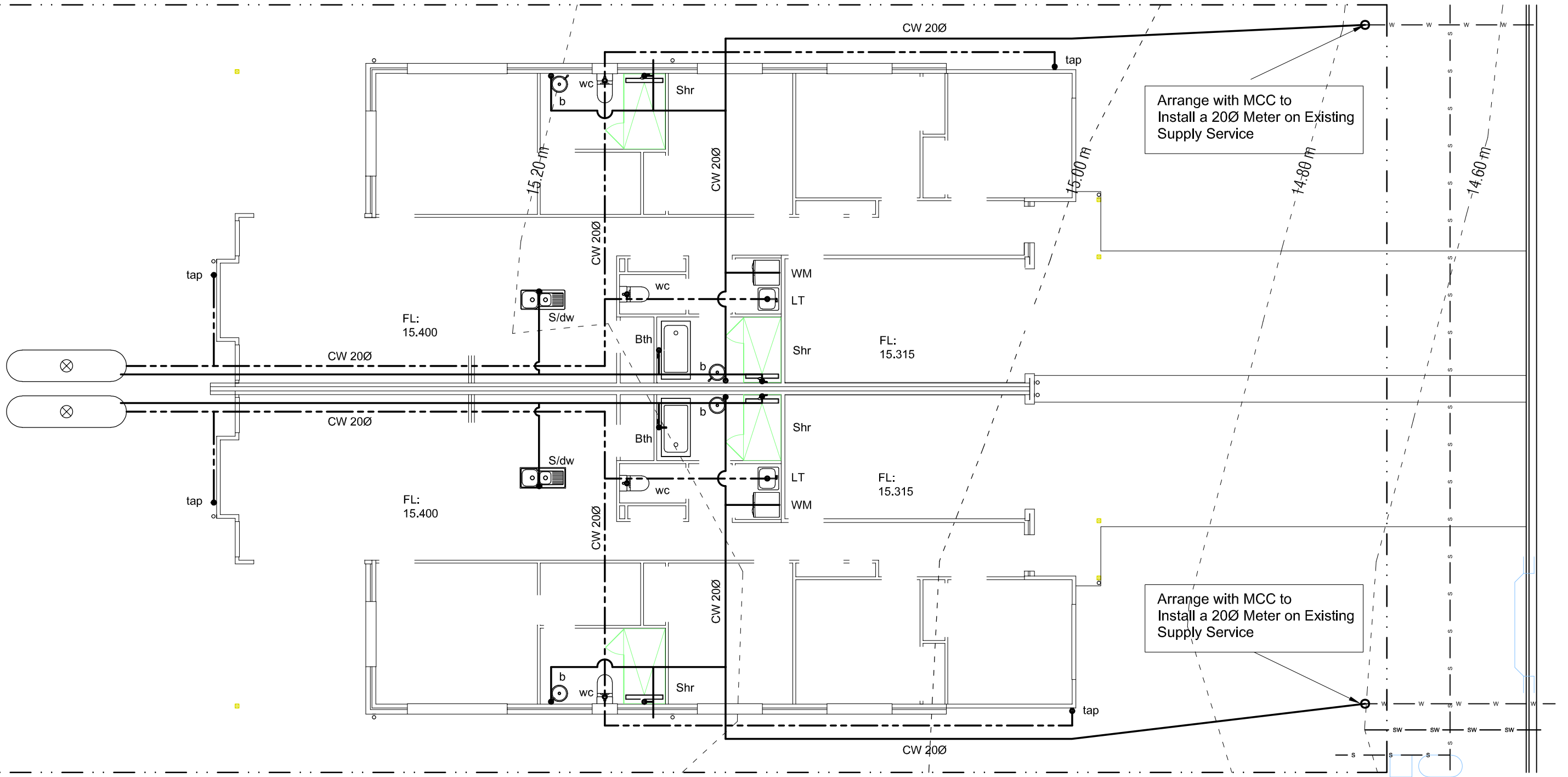
title	SEWER LAYOUT		
sheet	H01	drawing no.	2025-63
amdt.	A		



DAVID R. JOHNSON
Consulting Engineer Pty Ltd
A.B.N. 87 102 381 251

Telephone 0265 811 190
FAX 0265 815 757
Mobile 0488000038
Email: drj.eng@bigpond.com

6/34 Acacia Avenue
P.O. Box 510
Port Macquarie
NSW 2444



Arrange with MCC to
Install a 200 Meter on Existing
Supply Service

Arrange with MCC to
Install a 200 Meter on Existing
Supply Service

**Water Supply
Specification Notes :-**

All design of the Water Reticulation has been in accordance with the requirements setout in Water Services Association of Australia

All Construction is to be carried out in accordance with the requirements of Water Services Association of Australia

Internal Water Mains to be installed in accordance with AS3500.1 & .4

Connections are to be in accordance with Standard Drawings SD450, SD451, SD452 & ASD453

Internal Design in accordance with AS3500.1:2021 & AS3500.4:2021

METER TABLE - WATER

ITEM	UNIT
Pressure Drop	25m
Index Length	37m
PSFR Required	0.52l/s
PSFR Actual	0.58l/s
Meter Size	200

WATER SUPPLY
EACH UNIT

ITEM	No.	LU
SHOWER	2	3
SINK	1	3
BASIN	2	2
DW	1	3
WM	1	3
HWS	1	8
WC	2	4
LT	1	3
TAP	2	8
REUSE SUPPLY		37

Water Supply Layout Plan

Scale 1:100 @ A3

Amdt	Date	NOTES
A	13/10/25	CONSTRUCTION CERTIFICATE

client	INVESTMENTOR	title	WATER SUPPLY LAYOUT
project	Proposed Dual-Occupancy Lot 13 CrestView Avenue, Old Bar.	sheet	H02
drawn	D.R.J	drawing no.	2025-63
date	Nov 2025	amdt.	A



DAVID R. JOHNSON
Consulting Engineer Pty Ltd
A.B.N. 87 102 381 251

Telephone 0265 811 190
FAX 0265 815 757
Mobile 0488000038
Email: drj.eng@bigpond.com

6/34 Acacia Avenue
P.O. Box 510
Port Macquarie
NSW 2444